

PROJECT SITE DATA

PROJECT ADDRESS	5703 LONG BEACH BLVD BOROUGH OF HARVEY CEDAR OCEAN CITY, NJ
BLOCK	20
LOT	16
ZONED	RA
LOT AREA	6,375 SF
VERTICAL DATUM	NAVD 88
FEMA BFE	AE 7
FEMA DESIGN FLOOD ELEV	+8 NAVD88
T.O. BLOCK ELEV	N/A
ELEV. OF LOWEST FL.	13.3'
AVG C.O.R. ELEV	+4.5
AVG EXISTING GRADE	+4.2
AVG PROPOSED GRADE	NO CHANGE
GROUND SNOW LOAD	20 PSF
BLDG RISK CATEGORY	II
BASIC WIND SPEED	127
WFCM EXP CATEGORY	B
SEISMIC DESIGN CAT.	A
SUBJECT TO DAMAGE :	
WEATHERING	SEVERE
TERMITES	MOD TO HEAVY
DECAY	SLT TO MOD
FROST LINE DEPTH	30"
CLIMATE ZONE	4A
SUMMER DESIGN TEMP	90d W/ 100% RH
WINTER DESIGN TEMP	0d W/ 50 MPH WIND

DESIGN LOADS ref. 2021 IRC Table R301.5 & ASCE/SEI 7-05

FLOORS (LIVING AREAS)	40 psf live + 12 psf dead
FLOORS (BEDROOMS)	30 psf live + 12 psf dead
BALCONIES (EXTERIOR)	100 psf live + 12 psf dead
1 & 2 FAM RES (<100 SF)	60 psf live + 12 psf dead
DECKS	40 psf live + 6 psf dead
STAIRS	40 psf live + 6 psf dead
ROOF LOAD	20 psf live + 10 psf dead
GUARDRAILS + HANDRAILS	200 psf live along the top
ATTIC W/ STORAGE	30 psf live + 6 psf dead
ATTIC W/O STORAGE	10 psf live + 6 psf dead

REFERENCED CODES

PLAN REVIEW SHALL BE IN ACCORDANCE WITH THE NEW JERSEY UNIFORM CONSTRUCTION CODE INCLUDING ALL AMENDMENTS

BUILDING	INTERNATIONAL RESIDENTIAL CODE - 2021 (W/ NJ EDITS)
ELECTRICAL	NATIONAL ELECTRICAL CODE (NFPA70 - 2020)
ENERGY	INTERNATIONAL ENERGY CONSERVATION CODE 2021 LOW RISE RES
PLUMBING	NATIONAL STANDARD PLUMBING CODE - 2021
MECHANICAL	INTERNATIONAL MECHANICAL CODE - 2021
FUEL GAS	INTERNATIONAL FUEL GAS - 2021
FIRE	INTERNATIONAL FIRE CODE - 2018
FLOOD	ASCE24-14 FLOOD RESISTANT DESIGN + CONSTRUCTION
REHAB	NJUC SUBCHAPTER 6
BARRIER FREE	ICC A117.1-2017

BUILDING DATA REF: 2021 IBC/IRC

USE CLASSIFICATION	R-3
PRINCIPAL BUILDING USE	SINGLE FAMILY DETACHED
SPRINKLERED	NO
CONSTRUCTION TYPE	VB
OCCUPANCY	R-RESIDENTIAL
PROPOSED TOTAL AREA	-SF
PROPOSED HEIGHT	-FT
PROPOSED # STORIES	2
OCCUPANT LOAD FACTOR	1/200 SF

BUILDING CODE ANALYSIS

	CODE SECTION	
FIRE RATINGS	R302.1(1)	
WALLS (sep dist >5'-0")		0 HOURS
WALLS (sep dist <5'-0")		1 HOURS
PROJ. / OVERHANGS (sep dist >2'-0" to <5'-0")		1 HOURS UNDERSIDE
(sep dist >5'-0")		0 HOURS
OPENINGS IN WALLS (sep dist >3'-0" to <5'-0")		0 HR 25% MAX
GARAGE SEPERATION	R302.6	
WALL		1/2" MIN GYP
CEILING		5/8" MIN TYPE X GYP
DOOR		20 MIN

ENERGY CODE ref. 2021 IRC R402

CLIMATE ZONE		4
FENESTRATION	U-FACTOR	.30
GLAZED FENESTRATION	U-FACTOR	.40
SKYLIGHT	U-FACTOR	.55
CEILING	R-VALUE	R-60"
WOOD FRAME WALL	R-VALUE	R30 OR R5ci+R20
FLOOR	R-VALUE	19
BASEMENT WALL	R-VALUE	R13 OR R10ci
SLAB	R-VALUE / DEPTH	R10 / 4FT
CRAWL SPACE	R-VALUE	R13 OR R10ci

*PER R402.2.1 CEILING W/ ATTICS ALLOW R-49 REDUCTION IF UNCOMPRESSED OVER TOP PLATE AT EAVES.
*PER R402.2.2 CEILING W/ ATTICS ALLOW R-30 REDUCTION IF AREA LESS THEN 600 SF AND IF UNCOMPRESSED OVER TOP PLATE AT EAVES.

PROJECT CALCULATIONS

PROJECT AREA	LOT: 6,375 SF
EXISTING	GROUND LEVEL: :928 SF (UNHABITABLE) FIRST FLOOR: 1,606.5 SF SECOND FLOOR: :541.5 SF TOTAL (HABITABLE): 2,148 SF
ADDITION	GROUND LEVEL: 0 SF FIRST FLOOR: 0 SF SECOND FLOOR: 296 SF (HABITABLE) 425 SF (UNHABITABLE) TOTAL (HABITABLE): 296 SF
INTERIOR IMPROVEMENT AREA	GROUND LEVEL: 0 SF FIRST FLOOR: 0 SF SECOND FLOOR: 495 SF TOTAL: 495 SF
TOTAL WORK AREA	1,216 SF (HABITABLE+UNHABITABLE)
TOTAL GROSS FL. AREA	2,444 SF (HABITABLE)



Compliance Certificate

Project Information

Project Title:	STEFANI
Energy Code:	2021 IECC
Location:	Harvey Cedars, New Jersey
Construction Type:	Single Family
Project Type:	Addition
Project Sub Type:	None
Climate Area:	176
Climate Zone:	4a (2021 IECC)
Project No.:	2738603
All Electric:	False
Is Renewable:	False
Has Battery:	False
Has Charger:	False
Has Heat Pump:	False

Construction Site:	5703 LONG BEACH BLVD BOROUGH OF HARVEY CEDARS, NJ 08008	Owner/Agent:	GLENN STEFANI 5703 LONG BEACH BLVD HARVEY CEDARS, NJ 08008	Design/Contractor:	LINDA MONTANILE-SMITH 908 BENT LANE PHITOWN DESIGN GLENSIDE PA, PA 19038
--------------------	--	--------------	--	--------------------	---

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. U-Factor	Req. U-Factor
Ceiling ATTIC - Flat Ceiling of G0509 - TUB	308	38.0	13.0	0.027	0.024	9	18
Ceiling - MAIN SPACE Cathedral Ceiling	285	38.0	0.0	0.027	0.024	8	7
Skylight - Metal Frame w/ Thermal Break SHGC: 0.27	8			0.480	0.550	4	4
Wall 2nd - MAIN SPACE Wood Frame, 16" o.c.	804	38.8	0.0	0.044	0.045	17	18
Window-TW1845: Wood Frame SHGC: 0.31	34			0.300	0.300	18	18
Window-TW2446: Wood Frame SHGC: 0.31	33			0.300	0.300	18	18
Window-TW1921: Wood Frame SHGC: 0.31	8			0.300	0.300	2	2
Door - Glass Door (over 50% glazing) SHGC: 0.28	39			0.300	0.300	12	12
Wall 2nd - MAIN SPACE Wood Frame, 16" o.c.	38	24.5	0.0	0.053	0.045	3	3
Window-TW1836: Wood Frame SHGC: 0.31	13			0.300	0.300	4	4
Wall ATTIC Wood frame, 16" o.c.	337	38.0	0.0	0.049	0.045	14	13
Window-TW1918: Wood Frame SHGC: 0.31	22			0.300	0.300	7	7

Compliance: Passes using UA trade-off
Compliance: 0.9% better than Code

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.
Slab-on-grade foundations are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Compliance Statement

The proposed building design described here to conform with the building plans, specifications, and other calculations submitted with this permit application. The proposed building has been designed to meet the 2021 IECC requirements in REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspector Checklist.

Name - Title	Signature	Date



Insulation Rating	R-Value
Above-Grade Wall	38.50
Below-Grade Wall	0.00
Floor	0.00
Ceiling / Roof	51.00
Ductwork (unconditioned spaces):	

Glass & Door Rating	U-Factor	SHGC
Window	0.30	0.31
Door	0.30	0.28
Skylight	0.48	0.27

Heating & Cooling Equipment	Efficiency
Heating System:	
Cooling System:	
Water Heater:	

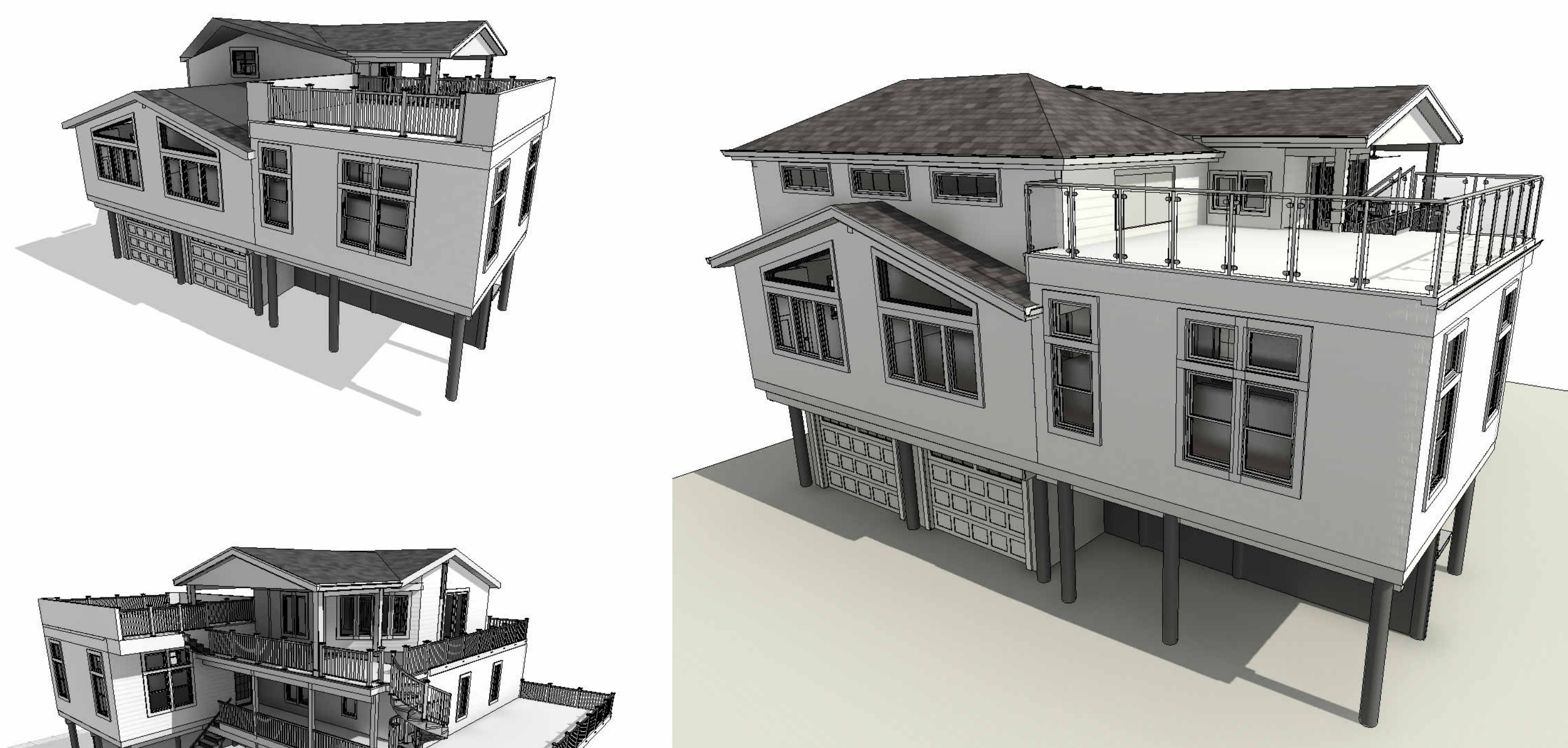
Signature: _____ Date: _____
Comments: _____

PROJECT TEAM

LEGAL OWNER: GLENN STEFANI 5703 LONG BEACH BLVD BOROUGH OF HARVEY CEDARS, NJ 08008 917.584.0169	ARCHITECT: PHITOWN DESIGN 908 BENT LANE GLENSIDE, PA 19038 215.870.8913
CONTRACTOR: James Wicks / Wicks Builders 125 MAIN STREET WARETOWN, NJ 08758 609.913.7996	CONSULTANT: PD STRUCTURAL ENGIN. 2409 BEECH ST POINT PLEASANT, NJ 08742 732.475.3706

STEFANI ADDITION

5703 LONG BEACH BLVD
HARVEY CEDARS, NJ
BLOCK: 20 LOT: 16



DRAWING INDEX

Sheet Number	Sheet Name	Current Revision	Current Revision Date	Current Revision Description
GENERAL				
A0.0	COVER SHEET	1	3/23/2028	ZONING VARIANCE
A0.1	GENERAL NOTES			
SITE				
A0.2	SITE PLAN	1	3/23/2028	ZONING VARIANCE
EXIST				
AD1.0	EXISTING / DEMO PLANS			
AD1.1	EXISTING / DEMO PLANS			
AD1.2	EXISTING / DEMO ELEVATIONS			
ARCHITECTURAL				
A1.0	RENOVATION PLAN - SECOND FL / ROOF			
A1.1	REFLECTED CEILING PLAN - LIGHTING			
A2.0	BUILDING ELEVATIONS			
A3.0	BUILDING SECTIONS			
A4.0	SCHEDULES + DETAILS			
STRUCTURAL				
S1	FRAMING PLAN			
S2	FRAMING PLAN			



OWNERSHIP & USE OF DRAWINGS

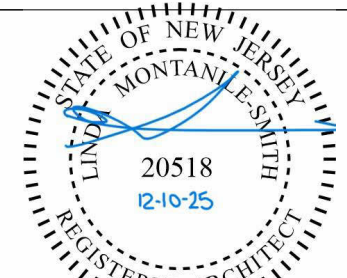
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF PHITOWN DESIGN WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THESE DRAWINGS SHALL NOT BE USED BY ANYONE ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO PHITOWN DESIGN.
SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THIS PROJECT IS NOT TO BE CONSTRUED AS PUBLICATION IN DEROGATION OF PHITOWN DESIGN'S RIGHTS.
THESE ELECTRONIC FILES, REPRODUCIBLES, OR PRINTS HAVE BEEN ISSUED FOR THE CONVENIENCE OF THE OWNER AND CONTRACTOR. NO CHANGES, ALTERATIONS, ADDITIONS OR DELETIONS MAY BE MADE TO THESE DOCUMENTS EXCEPT BY THE ARCHITECT.
NO REPRODUCIBLE COPIES ARE TO BE MADE FROM THESE DRAWINGS WITHOUT THE PRIOR WRITTEN AUTHORIZATION FROM PHITOWN DESIGN.

OWNER:
GLENN STEFANI
5703 LONG BEACH BLVD
BOROUGH OF HARVEY CEDARS, NJ 08008



ARCHITECT:
PHITOWN DESIGN
908 BENT LANE
GLENSIDE, PA 19038
215.870.8913
LINDA.PHITOWNDESIGN@GMAIL.COM

LINDA MONTANILE-SMITH
REGISTERED ARCHITECT
NJ. LIC. NO. 20518

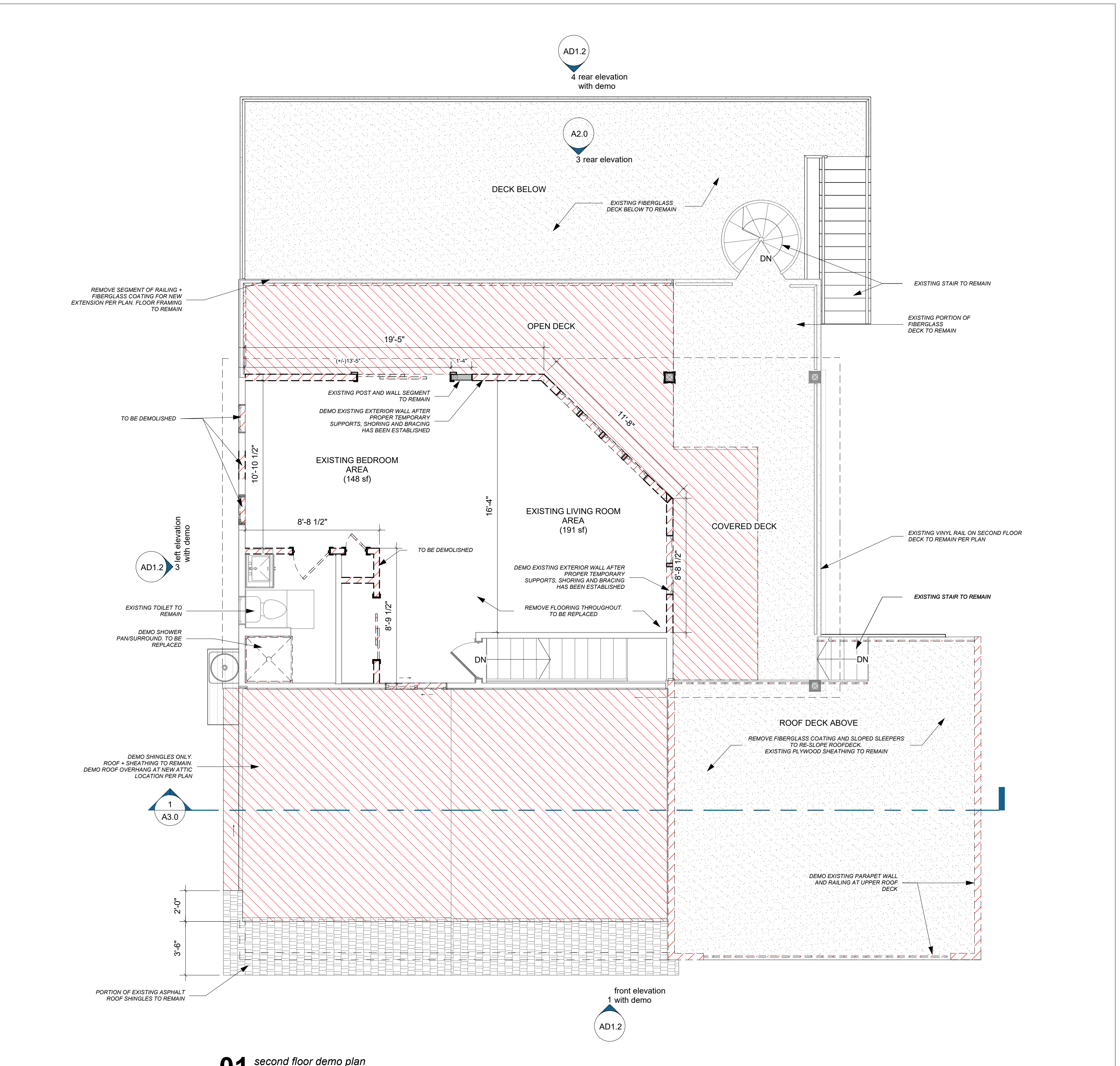
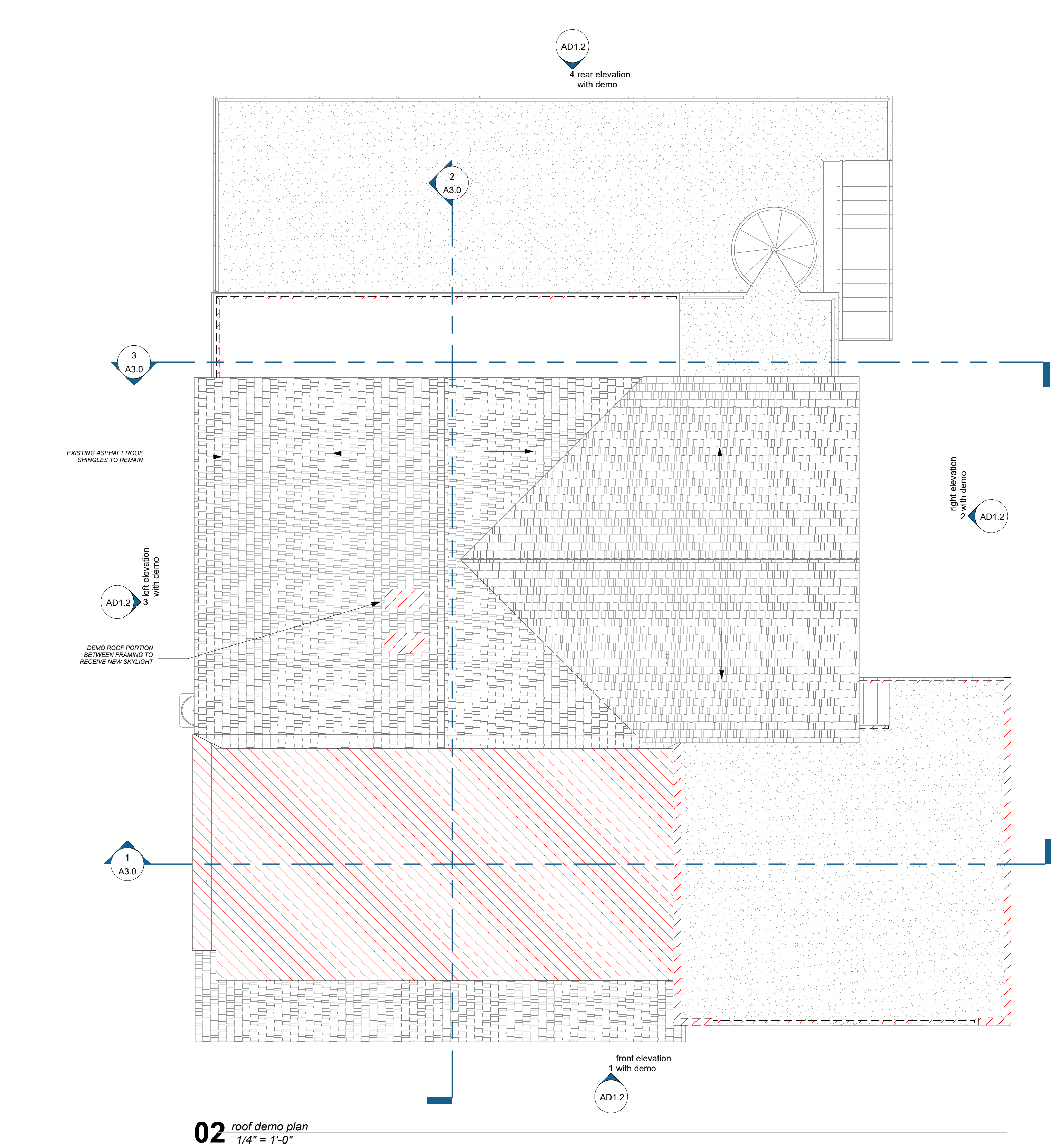


THESE DRAWINGS ARE COPYRIGHT PROTECTED.
These drawings are instruments of service and shall remain the property of PHITOWN DESIGN whether the project for which they are made is executed or not. These drawings shall not be used by anyone on other projects, for additions to this Project, or for completion of this Project by others except by agreement in writing and with appropriate compensation to PHITOWN DESIGN. Submission or distribution to meet official regulatory requirements or for other purposes in connection with this Project is not to be construed as publication in derogation of PHITOWN DESIGN'S rights. These electronic files, reproducible, or prints have been issued for the convenience of the Owner and Contractor. No changes, alterations, additions or deletions may be made to these documents except by the Architect. No reproducible copies are to be made from these drawings without the prior written authorization of the Architect.

STEFANI ADDITION
5703 LONG BEACH BLVD
HARVEY CEDARS, NJ
COVER SHEET

ISSUE / REVISION	DESCRIPTION	DATE	ISSUE DATE:
1	ZONING VARIANCE	3/23/2028	12.16.25

DRAWN BY: LMS
PROJECT ID: 26.10
DRAWING NO: **A0.0**



DEMOLITION NOTES

1. PROTECTION OF EXISTING TO REMAIN: THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR CARPET, FURNISHINGS, AND FINISHES IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK OR ANY SUBCONTRACTOR. IN PARTICULAR, THE CONTRACTOR SHALL MAINTAIN A DUST-FREE ENVIRONMENT.
 2. SCHEDULING: THE CONTRACTOR SHALL MEET WITH THE OWNERS OR AUTHORIZED REPRESENTATIVE WELL IN ADVANCE OF CONSTRUCTION COMMENCEMENT TO:
 A. SCHEDULE, SEQUENCE AND COORDINATE ALL WORK
 B. MAINTAIN EXITS AND EGRESS WIDTHS REQUIRED BY CODES DURING ALL PHASES OF CONSTRUCTION
 3. SCOPE OF WORK: CONTRACTOR ACKNOWLEDGES THAT SELECTIVE DEMOLITION DRAWINGS ARE DIAGMATIC AND SHALL REMOVE ALL EXISTING CONSTRUCTION NECESSARY TO ACCOMMODATE NEW WORK, WHETHER SHOWN OR NOT. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A

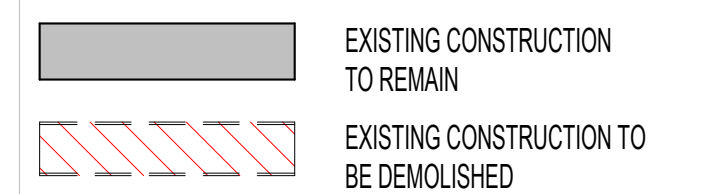
WALK-THRU OF THE SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS FOR IDENTIFYING POSSIBLE CRITICAL ITEMS WHICH WILL REQUIRE REMOVAL/RELOCATION.
 4. AS BUILT VERIFICATION: THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD OBSERVATIONS AND/OR THE ORIGINAL CONSTRUCTION DOCUMENTS OF THE FACILITY. DO NOT PROCEED WITH WORK IN AREAS OF DISCREPANCY UNTIL CLARIFICATION IS PROVIDED BY THE ARCHITECT.
 5. REMOVAL SURVEY: THE CONTRACTOR SHALL SURVEY AND DETERMINE THE REMOVAL OF EXISTING CONSTRUCTION, EITHER WHOLE OR IN PART, AS REQUIRED FOR THE INSTALLATION OF THE NEW MECHANICAL, PLUMBING AND ELECTRICAL WORK.
 6. CONSTRUCTION DEFECTS: THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY CONSTRUCTION DEFECTS FOUND IN UNCOVERING WORK IN THE EXISTING CONSTRUCTION.

7. FIXTURE REMOVAL: REMOVE MECHANICAL, ELECTRICAL, PLUMBING FIXTURES AND CAP OR REMOVE EXISTING BRANCH LINES AS INDICATED IN THE MECHANICAL AND ELECTRICAL DOCUMENTS. ALL EXISTING WATER, SANITARY, ELECTRIC AND MECHANICAL LINES WHICH ARE TO REMAIN TO BE PROTECTED FROM DAMAGE DURING DEMOLITION AND ALTERATION WORK.
 8. COORDINATION: COORDINATE PLANS FOR NEW CONSTRUCTION W/ DEMOLITION PLANS FOR EXTENT OF REMOVAL. REMOVE ONLY THOSE PORTIONS OF WALLS, FLOORS, CEILING, ETC. NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.
 9. STRUCTURAL INTEGRITY: CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN PENETRATING EXISTING WALLS OR FLOOR/CEILING ASSEMBLIES SO STRUCTURAL INTEGRITY OF SUCH ELEMENTS IS NOT DEGRADED. PROVIDE TEMPORARY SHORING AND BRACING AS REQ TO MAINTAIN STRUCTURAL STABILITY.
 10. PREPARE SURFACES: EXISTING FLOORS AND/OR SURFACES SHALL BE PREPARED TO RECEIVE NEW SCHEDULED FINISHES BY GRINDING, SCRAPING, FILLING, PATCHING, LEVELING, ETC. AS REQUIRED.

11. WASTE MATERIALS: WASTE AND RUBBISH FROM DEMOLITION OPERATION SHALL BE REMOVED FROM SITE AS RAPIDLY AS POSSIBLE AND SHALL NOT BE ALLOWED TO ACCUMULATE ON PREMISES. DISPOSAL OF MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
 12. CLEAN WORK AREA: KEEP PREMISES CLEAN AT ALL TIMES ENSURING THAT THERE IS NO LOOSE MATERIALS OR ITEMS WHICH MAY CAUSE INJURY.
 13. DO NOT SCALE: DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS. USE WRITTEN DIMENSIONS ONLY AND VERIFY IN FIELD. CONTACT ARCHITECT FOR VERIFICATION IF DIMENSIONS ARE NOT SHOWN.
 14. REUSED ITEMS: CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN REMOVING EXISTING ITEMS THAT ARE SCHEDULED TO BE RELOCATED AND/OR REUSED. PROTECT AND STORE THESE ITEMS ON SITE.
 15. HAZARDOUS MATERIALS: IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY THE ARCHITECT AND OWNER. ARCHITECT AND OWNER ASSUME NO

RESPONSIBILITY FOR IDENTIFICATION OR REMOVAL OF HAZARDOUS MATERIALS NOT PREVIOUSLY DOCUMENTED
 16. UTILITY SHUTOFFS: CONTRACTOR SHALL COORDINATE AND VERIFY SHUTOFF OF ALL AFFECTED UTILITIES PRIOR TO DEMOLITION. PROTECT UTILITIES DESIGNATED TO REMAIN.
 17. FIRE RESISTANCE: MAINTAIN EXISTING FIRE-RATED ASSEMBLIES DURING DEMOLITION. REPAIR OR RESTORE FIRE-RESISTANCE RATINGS WHERE PENETRATIONS OR REMOVALS OCCUR.
 18. WEATHER PROTECTION: PROVIDE TEMPORARY ENCLOSURES AND PROTECTION TO MAINTAIN WEATHER-TIGHT CONDITIONS DURING DEMOLITION AND CONSTRUCTION.
 19. OCCUPIED AREAS: COORDINATE DEMOLITION OPERATIONS TO MAINTAIN SAFE ACCESS, EGRESS, AND SEPARATION FROM OCCUPIED AREAS AT ALL TIMES.

WALL KEY

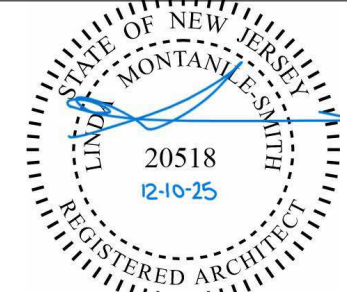


OWNER:
GLENN STEFANI
 5703 LONG BEACH BLVD
 BOROUGH OF HARVEY CEDARS, NJ 08008

phitown design
 LINDA.PHITOWNDESIGN@GMAIL.COM - 215-970-8913

ARCHITECT:
PHITOWN DESIGN
 908 BENT LANE
 GLENSEIDE, PA 19038
 215.870.8913
 LINDA.PHITOWNDESIGN@GMAIL.COM

LINDA MONTANILE-SMITH
 REGISTERED ARCHITECT
 2018
 12-10-25
 NJ. LIC. NO. 20518

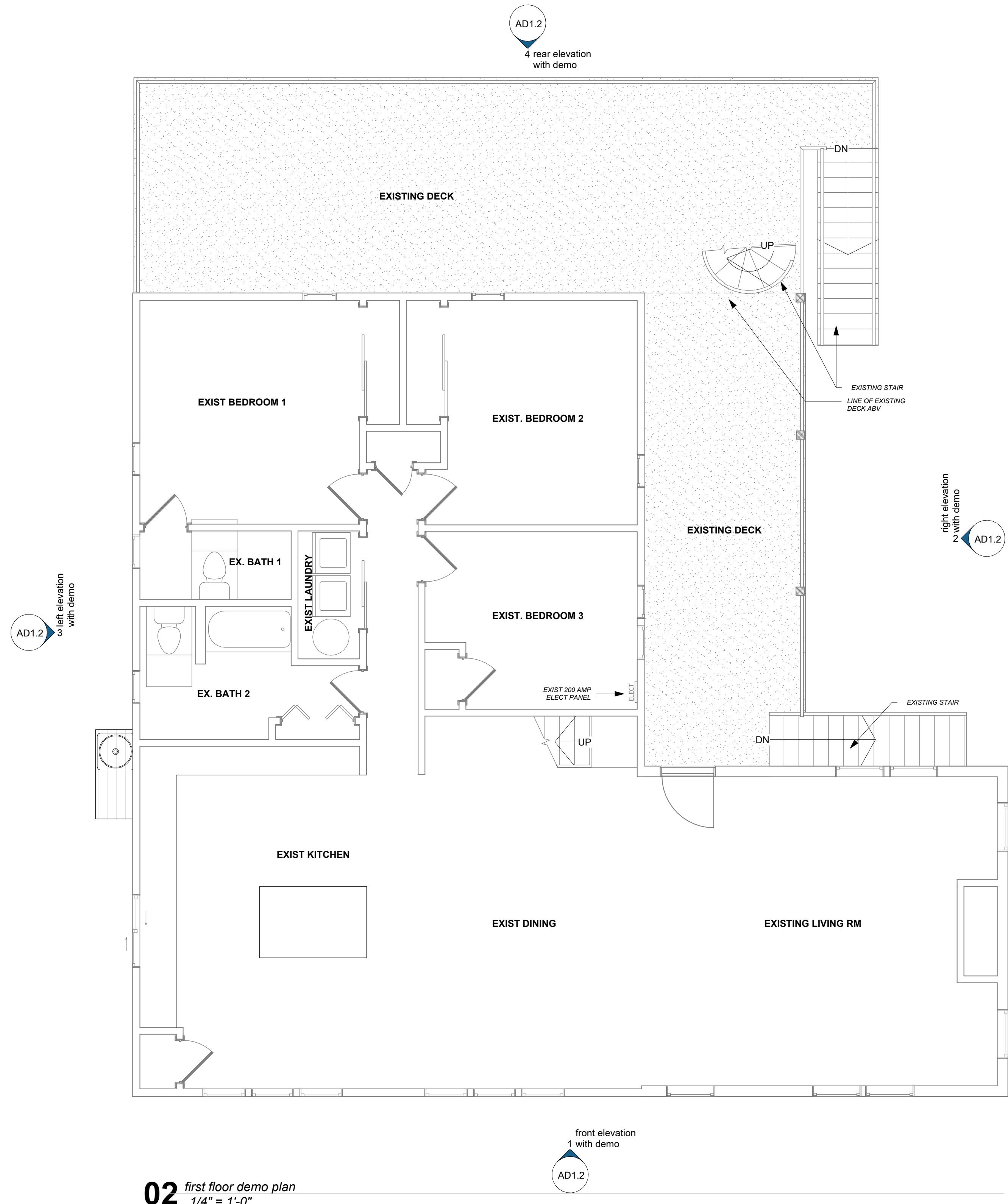


THESE DRAWINGS ARE COPYRIGHT PROTECTED.
 These drawings are instruments of service and shall remain the property of PHITOWN DESIGN whether the project for which they are made is executed or not. These drawings shall not be used for any other projects, for additions to this Project, or for completion of this Project by others except by agreement in writing and with appropriate compensation to PHITOWN DESIGN. Submission or distribution to meet official regulatory requirements or for other purposes in connection with this Project is not to be construed as publication in derogation of PHITOWN DESIGN'S rights. These electronic files, reproductions or prints have been issued for the convenience of the Owner and Contractor. No changes, alterations, additions or deletions may be made to these documents except by the Architect. No reproducible copies are to be made from these drawings without the prior written authorization of the Architect.

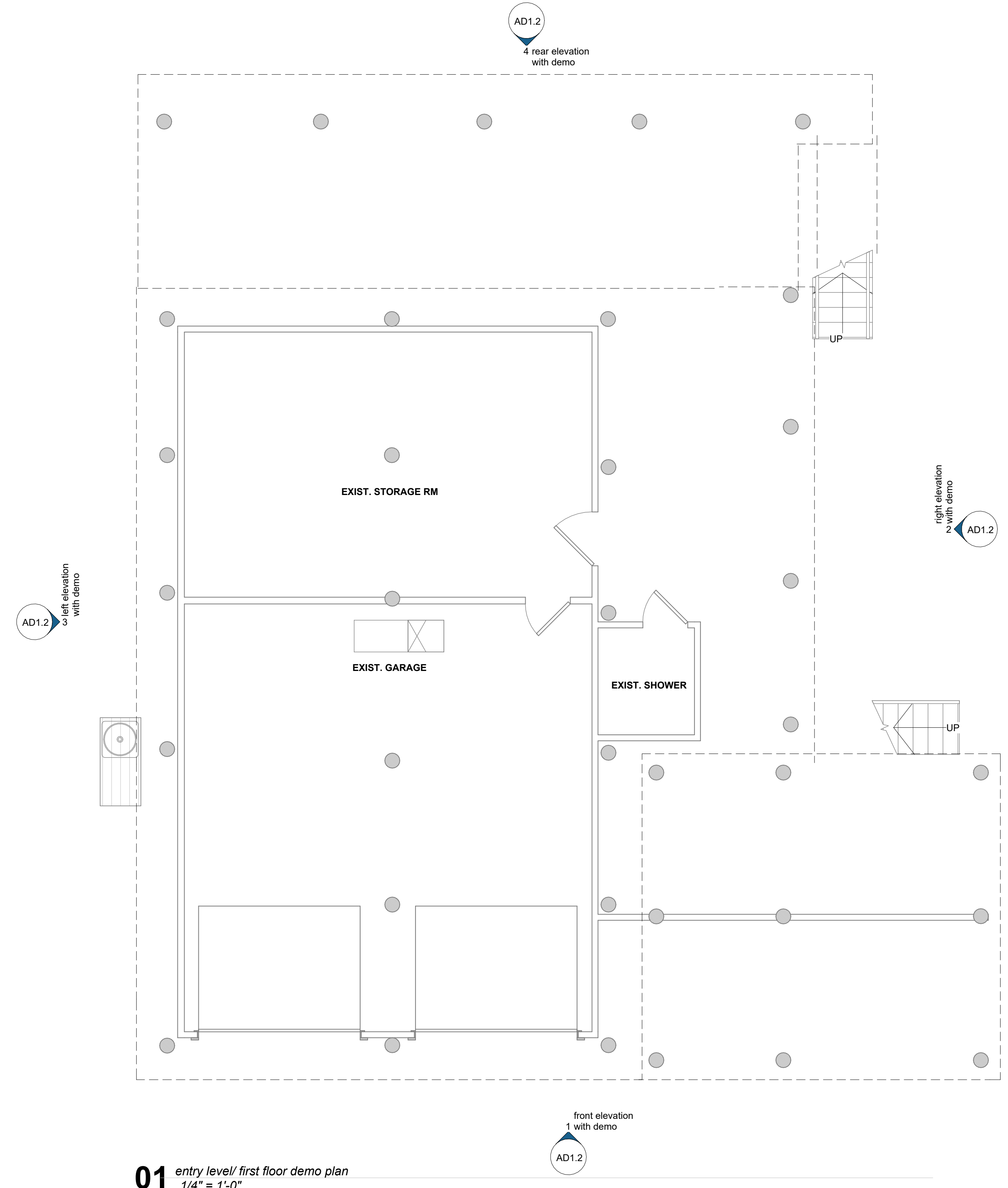
STEFANI ADDITION
 5703 LONG BEACH BLVD
 HARVEY CEDARS, NJ
EXISTING / DEMO PLANS

ISSUE / REVISION	ISSUE	DESCRIPTION	DATE

ISSUE DATE: 12.16.25
 DRAWN BY: LMS
 PROJECT ID: 25.10
 DRAWING NO: **AD1.0**



02 first floor demo plan
1/4" = 1'-0"



01 entry level/ first floor demo plan
1/4" = 1'-0"

DEMOLITION NOTES

1. PROTECTION OF EXISTING TO REMAIN: THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR CARPET, FURNISHINGS, AND FINISHES IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK OR ANY SUBCONTRACTOR. IN PARTICULAR, THE CONTRACTOR SHALL MAINTAIN A DUST-FREE ENVIRONMENT.
2. SCHEDULING : THE CONTRACTOR SHALL MEET WITH THE OWNERS OR AUTHORIZED REPRESENTATIVE WELL IN ADVANCE OF CONSTRUCTION COMMENCEMENT TO:
 - A. SCHEDULE, SEQUENCE AND COORDINATE ALL WORK
 - B. MAINTAIN EXITS AND EGRESS WIDTHS REQUIRED BY CODES DURING ALL PHASES OF CONSTRUCTION
3. SCOPE OF WORK: CONTRACTOR ACKNOWLEDGES THAT SELECTIVE DEMOLITION DRAWINGS ARE DIAGRAMMATIC AND SHALL REMOVE ALL EXISTING CONSTRUCTION NECESSARY TO ACCOMMODATE NEW WORK, WHETHER SHOWN OR NOT. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A

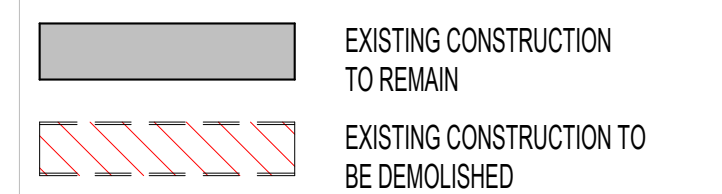
4. AS BUILT VERIFICATION : THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD OBSERVATIONS AND/OR THE ORIGINAL CONSTRUCTION DOCUMENTS OF THE FACILITY. DO NOT PROCEED WITH WORK IN AREAS OF DISCREPANCY UNTIL CLARIFICATION IS PROVIDED BY THE ARCHITECT.
5. REMOVAL SURVEY: THE CONTRACTOR SHALL SURVEY AND DETERMINE THE REMOVAL OF EXISTING CONSTRUCTION, EITHER WHOLE OR IN PART, AS REQUIRED FOR THE INSTALLATION OF THE NEW MECHANICAL, PLUMBING AND ELECTRICAL WORK.
6. CONSTRUCTION DEFECTS: THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY CONSTRUCTION DEFECTS FOUND IN UNCOVERING WORK IN THE EXISTING CONSTRUCTION.

7. FIXTURE REMOVAL: REMOVE MECHANICAL, ELECTRICAL, PLUMBING FIXTURES AND CAP OR REMOVE EXISTING BRANCH LINES AS INDICATED IN THE MECHANICAL AND ELECTRICAL DOCUMENTS. ALL EXISTING WATER, SANITARY, ELECTRIC AND MECHANICAL LINES WHICH ARE TO REMAIN TO BE PROTECTED FROM DAMAGE DURING DEMOLITION AND ALTERATION WORK.
8. COORDINATION: COORDINATE PLANS FOR NEW CONSTRUCTION W/ DEMOLITION PLANS FOR EXTENT OF REMOVAL. REMOVE ONLY THOSE PORTIONS OF WALLS, FLOORS, CEILINGS, ETC. NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.
9. STRUCTURAL INTEGRITY: CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN PENETRATING EXISTING WALLS OR FLOOR/CEILING ASSEMBLIES SO STRUCTURAL INTEGRITY OF SUCH ELEMENTS IS NOT DEGRADED. PROVIDE TEMPORARY SHORING AND BRACING AS REQ TO MAINTAIN STRUCTURAL STABILITY.
10. PREPARE SURFACES: EXISTING FLOORS AND/OR SURFACES SHALL BE PREPARED TO RECEIVE NEW SCHEDULED FINISHES BY GRINDING, SCRAPING, FILLING, PATCHING, LEVELING, ETC. AS REQUIRED.

11. WASTE MATERIALS: WASTE AND RUBBISH FROM DEMOLITION OPERATION SHALL BE REMOVED FROM SITE AS RAPIDLY AS POSSIBLE AND SHALL NOT BE ALLOWED TO ACCUMULATE ON PREMISES. DISPOSAL OF MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
12. CLEAN WORK AREA: KEEP PREMISES CLEAN AT ALL TIMES ENSURING THAT THERE IS NO LOOSE MATERIALS OR ITEMS WHICH MAY CAUSE INJURY.
13. DO NOT SCALE: DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS. USE WRITTEN DIMENSIONS ONLY AND VERIFY IN FIELD. CONTACT ARCHITECT FOR VERIFICATION IF DIMENSIONS ARE NOT SHOWN.
14. REUSED ITEMS: CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN REMOVING EXISTING ITEMS THAT ARE SCHEDULED TO BE RELOCATED AND/OR REUSED. PROTECT AND STORE THESE ITEMS ON SITE.
15. HAZARDOUS MATERIALS: IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY THE ARCHITECT AND OWNER. ARCHITECT AND OWNER ASSUME NO

- RESPONSIBILITY FOR IDENTIFICATION OR REMOVAL OF HAZARDOUS MATERIALS NOT PREVIOUSLY DOCUMENTED
16. UTILITY SHUTOFFS: CONTRACTOR SHALL COORDINATE AND VERIFY SHUTOFF OF ALL AFFECTED UTILITIES PRIOR TO DEMOLITION. PROTECT UTILITIES DESIGNATED TO REMAIN.
17. FIRE RESISTANCE: MAINTAIN EXISTING FIRE-RATED ASSEMBLIES DURING DEMOLITION. REPAIR OR RESTORE FIRE-RESISTANCE RATINGS WHERE PENETRATIONS OR REMOVALS OCCUR.
18. WEATHER PROTECTION: PROVIDE TEMPORARY ENCLOSURES AND PROTECTION TO MAINTAIN WEATHER-TIGHT CONDITIONS DURING DEMOLITION AND CONSTRUCTION.
19. OCCUPIED AREAS: COORDINATE DEMOLITION OPERATIONS TO MAINTAIN SAFE ACCESS, EGRESS, AND SEPARATION FROM OCCUPIED AREAS AT ALL TIMES.

WALL KEY

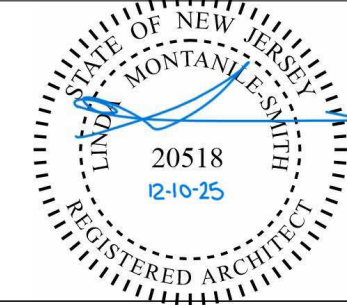


OWNER:
GLENN STEFANI
5703 LONG BEACH BLVD
BOROUGH OF HARVEY CEDARS, NJ 08008



ARCHITECT:
PHITOWN DESIGN
908 BENT LANE
GLENSEIDE, PA 19038
215.870.8913
LINDA.PHITOWNDESIGN@GMAIL.COM

LINDA MONTANILE-SMITH
REGISTERED ARCHITECT
2018
2-10-25
NJ. LIC. NO. 20518



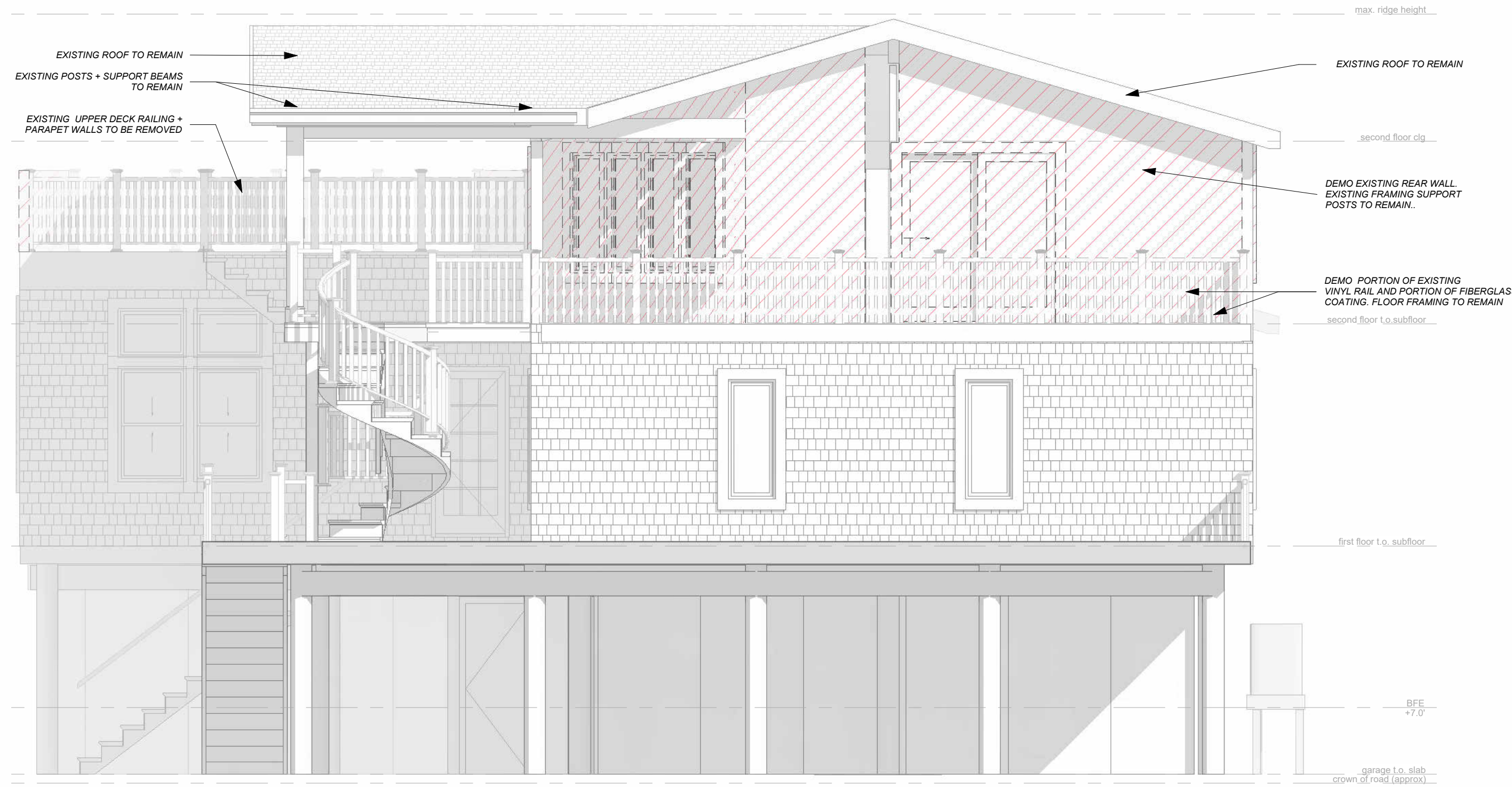
THESE DRAWINGS ARE COPYRIGHT PROTECTED.
These drawings are instruments of service and shall remain the property of PHITOWN DESIGN whether the project for which they are made is executed or not. These drawings shall not be used for any other projects, for additions to this Project, or for completion of this Project by others except by agreement in writing and with appropriate compensation to PHITOWN DESIGN. Submission or distribution to meet official regulatory requirements or for other purposes in connection with this Project is not to be construed as publication in derogation of PHITOWN DESIGN'S rights. These electronic files, reproductions, or prints have been issued for the convenience of the Owner and Contractor. No changes, alterations, additions or deletions may be made to these documents except by the Architect. No reproducible copies are to be made from these drawings without the prior written authorization of the Architect.

STEFANI ADDITION
5703 LONG BEACH BLVD
HARVEY CEDARS, NJ
EXISTING / DEMO PLANS

ISSUE / REVISION	ISSUE	DESCRIPTION	DATE

ISSUE DATE: 12.16.25
DRAWN BY: LMS
PROJECT ID: 25.10

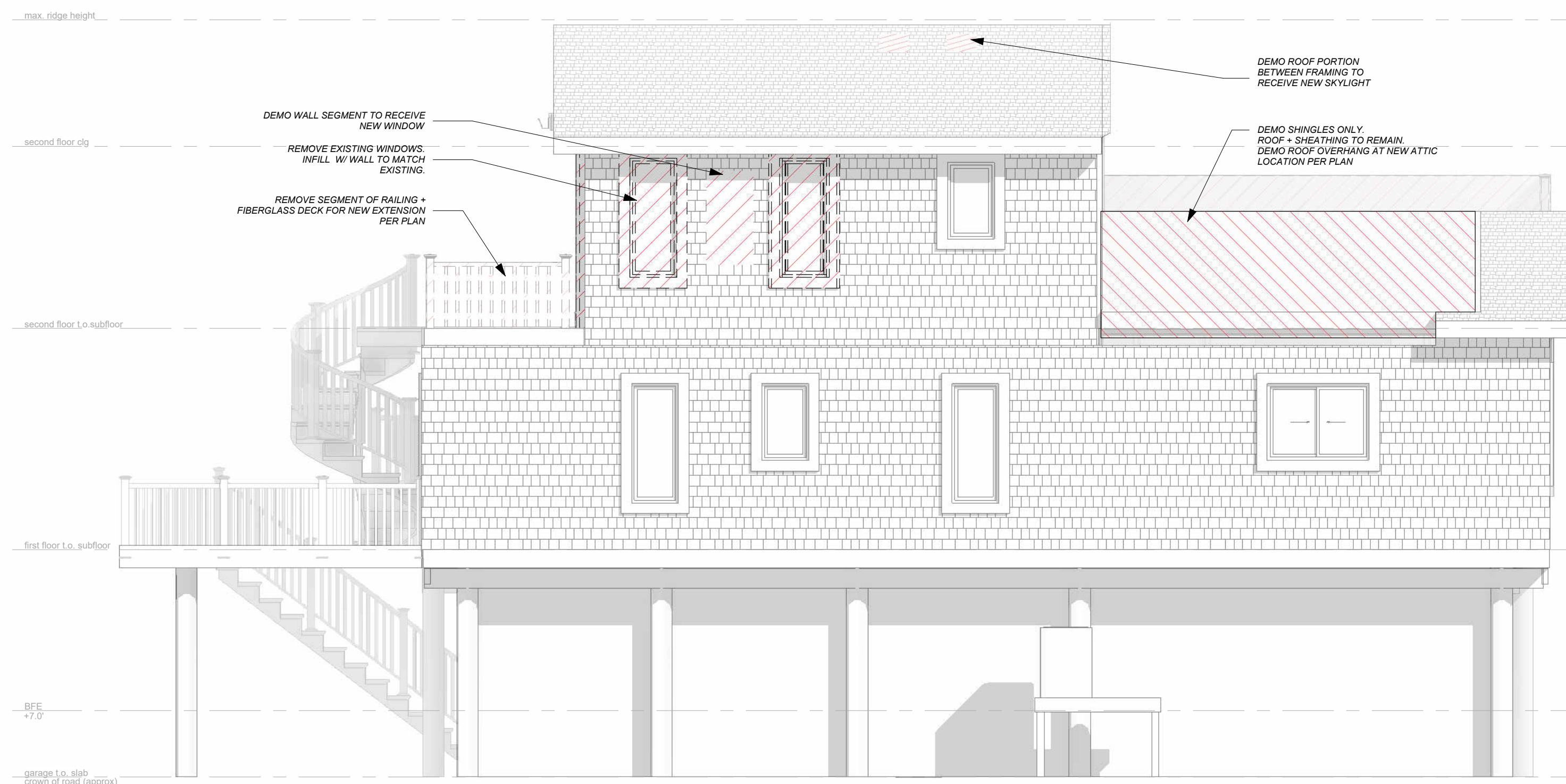
DRAWING NO:
AD1.1



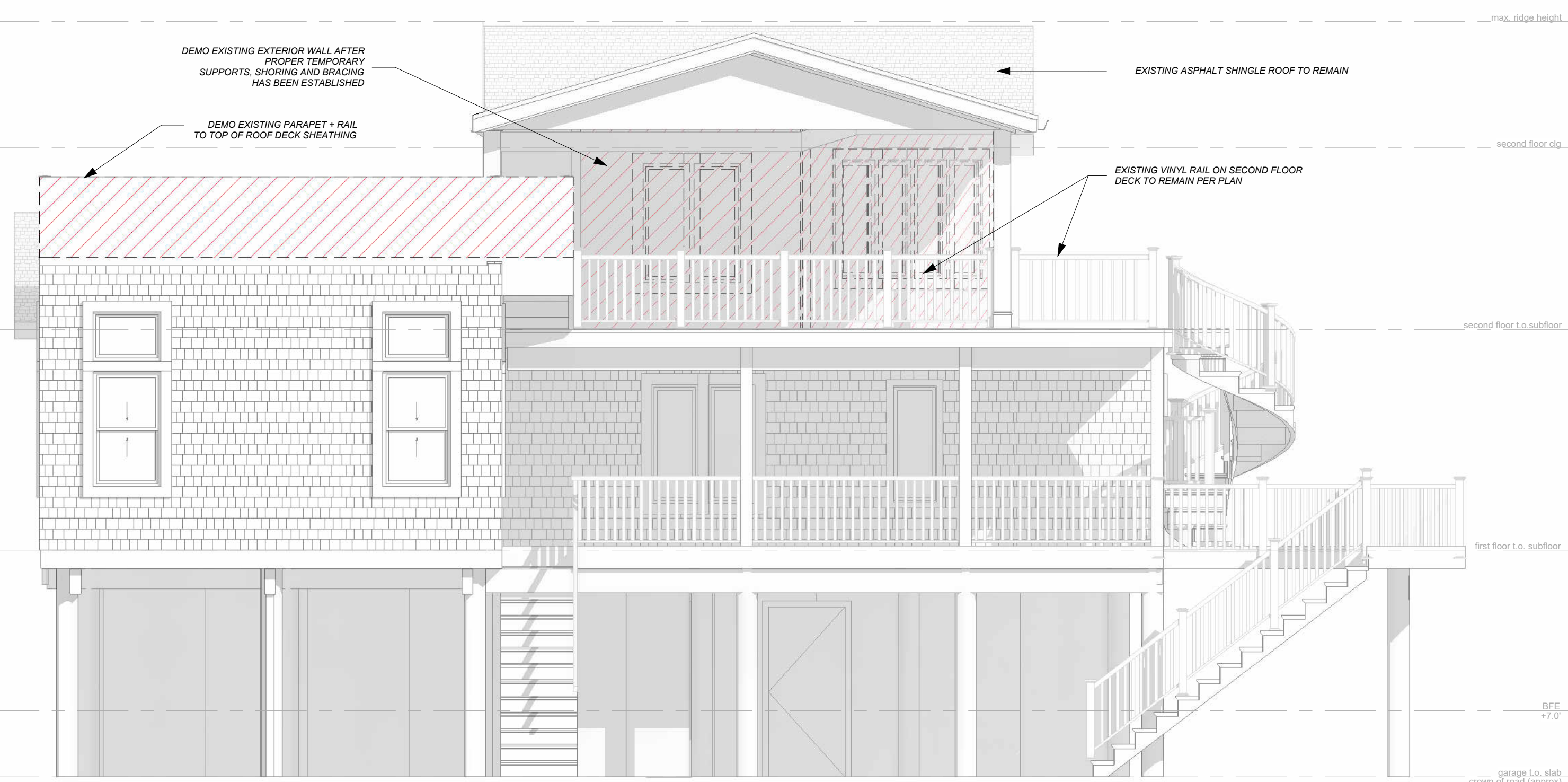
04 rear elevation with demo
1/4" = 1'-0"



01 front elevation with demo
1/4" = 1'-0"



03 left elevation with demo
1/4" = 1'-0"



02 right elevation with demo
1/4" = 1'-0"

DEMOLITION NOTES

1. PROTECTION OF EXISTING TO REMAIN: THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR CARPET, FURNISHINGS, AND FINISHES IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK OR ANY SUBCONTRACTOR. IN PARTICULAR, THE CONTRACTOR SHALL MAINTAIN A DUST-FREE ENVIRONMENT.
 2. SCHEDULING: THE CONTRACTOR SHALL MEET WITH THE OWNER'S OR AUTHORIZED REPRESENTATIVE WELL IN ADVANCE OF CONSTRUCTION COMMENCEMENT TO:
 A. SCHEDULE, SEQUENCE AND COORDINATE ALL WORK
 B. MAINTAIN EXITS AND EGRESS WIDTHS REQUIRED BY CODES DURING ALL PHASES OF CONSTRUCTION
 3. SCOPE OF WORK: CONTRACTOR ACKNOWLEDGES THAT SELECTIVE DEMOLITION DRAWINGS ARE DIAGRAMMATIC AND SHALL REMOVE ALL EXISTING CONSTRUCTION NECESSARY TO ACCOMMODATE NEW WORK, WHETHER SHOWN OR NOT. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A

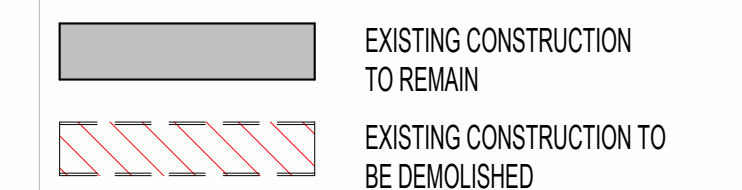
WALK-THRU OF THE SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS FOR IDENTIFYING POSSIBLE CRITICAL ITEMS WHICH WILL REQUIRE REMOVAL/RELOCATION.
 4. AS BUILT VERIFICATION: THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD OBSERVATIONS AND/OR THE ORIGINAL CONSTRUCTION DOCUMENTS OF THE FACILITY. DO NOT PROCEED WITH WORK IN AREAS OF DISCREPANCY UNTIL CLARIFICATION IS PROVIDED BY THE ARCHITECT.
 5. REMOVAL SURVEY: THE CONTRACTOR SHALL SURVEY AND DETERMINE THE REMOVAL OF EXISTING CONSTRUCTION, EITHER WHOLE OR IN PART, AS REQUIRED FOR THE INSTALLATION OF THE NEW MECHANICAL, PLUMBING AND ELECTRICAL WORK.
 6. CONSTRUCTION DEFECTS: THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY CONSTRUCTION DEFECTS FOUND IN UNCOVERING WORK IN THE EXISTING CONSTRUCTION.

7. FIXTURE REMOVAL: REMOVE MECHANICAL, ELECTRICAL, PLUMBING FIXTURES AND CAP OR REMOVE EXISTING BRANCH LINES AS INDICATED IN THE MECHANICAL AND ELECTRICAL DOCUMENTS. ALL EXISTING WATER, SANITARY, ELECTRIC AND MECHANICAL LINES WHICH ARE TO REMAIN TO BE PROTECTED FROM DAMAGE DURING DEMOLITION AND ALTERATION WORK.
 8. COORDINATION: COORDINATE PLANS FOR NEW CONSTRUCTION W/ DEMOLITION PLANS FOR EXTENT OF REMOVAL. REMOVE ONLY THOSE PORTIONS OF WALLS, FLOORS, CEILINGS, ETC. NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.
 9. STRUCTURAL INTEGRITY: CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN PENETRATING EXISTING WALLS OR FLOOR/CEILING ASSEMBLIES SO STRUCTURAL INTEGRITY OF SUCH ELEMENTS IS NOT DEGRADED. PROVIDE TEMPORARY SHORING AND BRACING AS REQ TO MAINTAIN STRUCTURAL STABILITY.
 10. PREPARE SURFACES: EXISTING FLOORS AND/OR SURFACES SHALL BE PREPARED TO RECEIVE NEW SCHEDULED FINISHES BY GRINDING, SCRAPING, FILLING, PATCHING, LEVELING, ETC. AS REQUIRED.

11. WASTE MATERIALS: WASTE AND RUBBISH FROM DEMOLITION OPERATION SHALL BE REMOVED FROM SITE AS RAPIDLY AS POSSIBLE AND SHALL NOT BE ALLOWED TO ACCUMULATE ON PREMISES. DISPOSAL OF MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
 12. CLEAN WORK AREA: KEEP PREMISES CLEAN AT ALL TIMES ENSURING THAT THERE IS NO LOOSE MATERIALS OR ITEMS WHICH MAY CAUSE INJURY.
 13. DO NOT SCALE: DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS. USE WRITTEN DIMENSIONS ONLY AND VERIFY IN FIELD. CONTACT ARCHITECT FOR VERIFICATION IF DIMENSIONS ARE NOT SHOWN.
 14. REUSED ITEMS: CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN REMOVING EXISTING ITEMS THAT ARE SCHEDULED TO BE RELOCATED AND/OR REUSED. PROTECT AND STORE THESE ITEMS ON SITE.
 15. HAZARDOUS MATERIALS: IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY THE ARCHITECT AND OWNER. ARCHITECT AND OWNER ASSUME NO

RESPONSIBILITY FOR IDENTIFICATION OR REMOVAL OF HAZARDOUS MATERIALS NOT PREVIOUSLY DOCUMENTED
 16. UTILITY SHUTOFFS: CONTRACTOR SHALL COORDINATE AND VERIFY SHUTOFF OF ALL AFFECTED UTILITIES PRIOR TO DEMOLITION. PROTECT UTILITIES DESIGNATED TO REMAIN.
 17. FIRE RESISTANCE: MAINTAIN EXISTING FIRE-RATED ASSEMBLIES DURING DEMOLITION. REPAIR OR RESTORE FIRE-RESISTANCE RATINGS WHERE PENETRATIONS OR REMOVALS OCCUR.
 18. WEATHER PROTECTION: PROVIDE TEMPORARY ENCLOSURES AND PROTECTION TO MAINTAIN WEATHER-TIGHT CONDITIONS DURING DEMOLITION AND CONSTRUCTION.
 19. OCCUPIED AREAS: COORDINATE DEMOLITION OPERATIONS TO MAINTAIN SAFE ACCESS, EGRESS, AND SEPARATION FROM OCCUPIED AREAS AT ALL TIMES.

WALL KEY

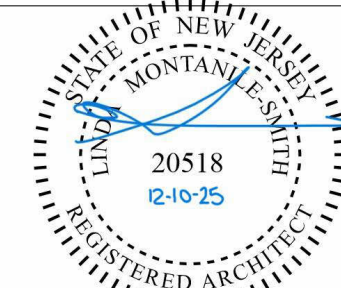


OWNER:
GLENN STEFANI
5703 LONG BEACH BLVD
BOROUGH OF HARVEY CEDARS, NJ 08008



ARCHITECT:
PHITOWN DESIGN
908 BENT LANE
GLENSIDE, PA 19038
215.870.8913
LINDA.PHITOWNDESIGN@GMAIL.COM

LINDA MONTANILE-SMITH
REGISTERED ARCHITECT
NJ. LIC. NO. 20518

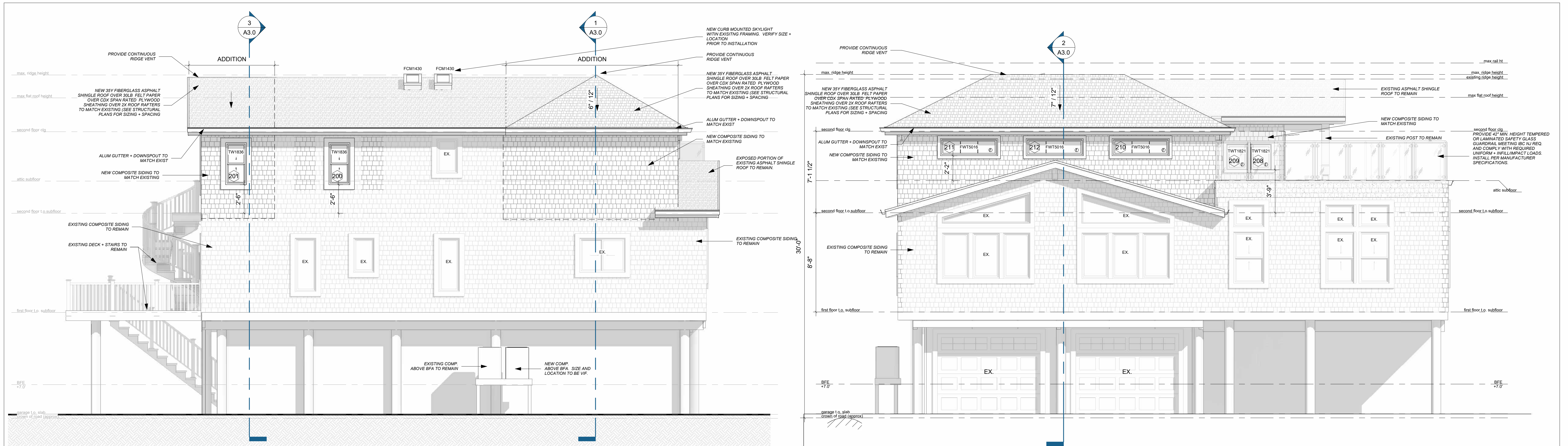


THESE DRAWINGS ARE COPYRIGHT PROTECTED.
 These drawings are instruments of service and shall remain the property of PHITOWN DESIGN whether the project for which they are made is executed or not. These drawings shall not be used for any other projects, for additions to this Project, or for completion of this Project by others except by agreement in writing and with appropriate compensation to PHITOWN DESIGN. Submission or distribution to meet official regulatory requirements or for other purposes in connection with this Project is not to be construed as publication in derogation of PHITOWN DESIGN'S rights. These electronic files, reproductions, or prints have been issued for the convenience of the Owner and Contractor. No changes, alterations, additions or deletions may be made to these documents except by the Architect. No reproducible copies are to be made from these drawings without the prior written authorization of the Architect.

STEFANI ADDITION
5703 LONG BEACH BLVD
HARVEY CEDARS, NJ
EXISTING / DEMO ELEVATIONS

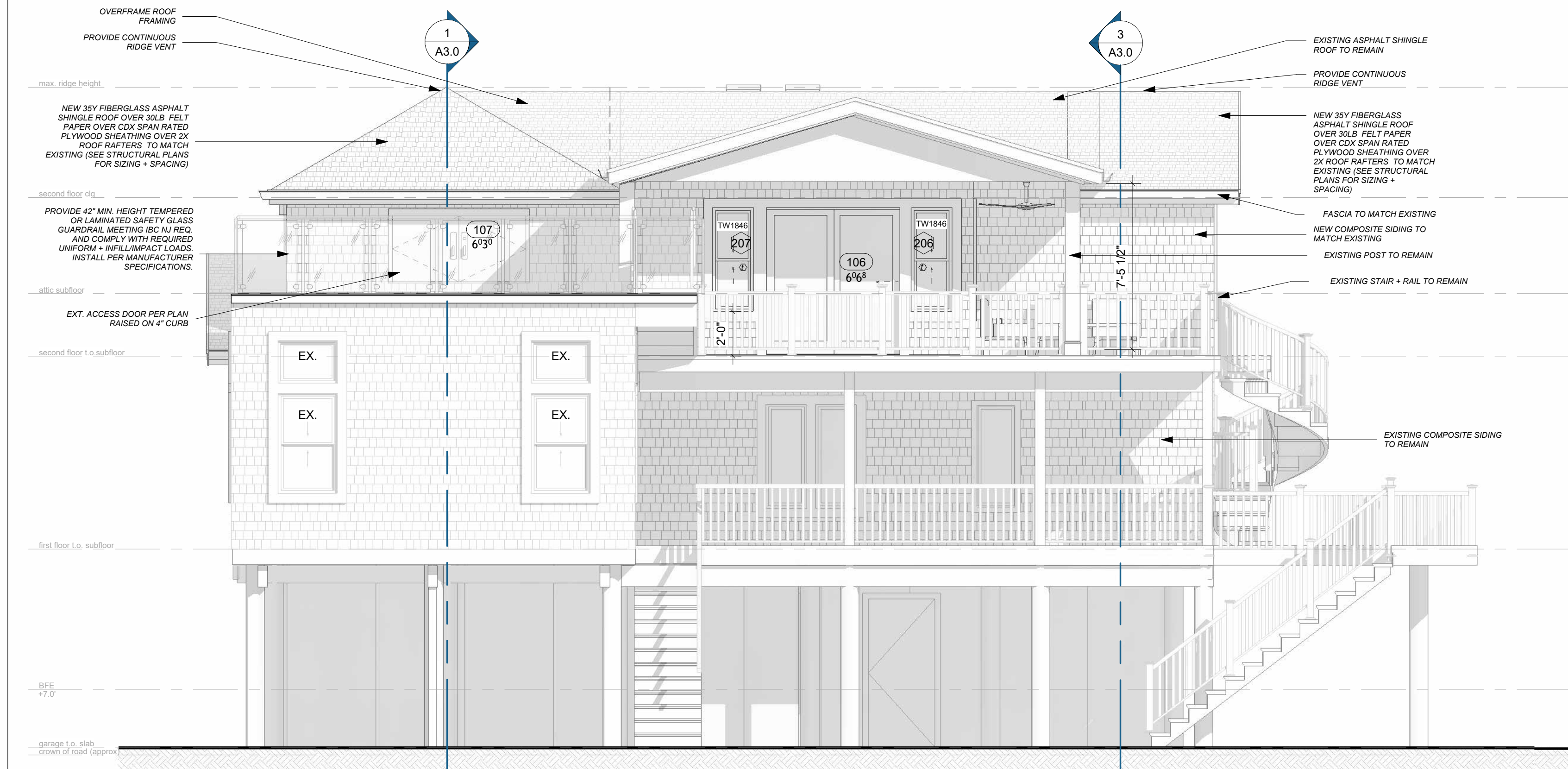
ISSUE / REVISION	ISSUE	DESCRIPTION	DATE

ISSUE DATE: 12.16.25
 DRAWN BY: LMS
 PROJECT ID: 25.10
 DRAWING NO: **AD1.2**



02 left elevation
1/4" = 1'-0"

01 front elevation
1/4" = 1'-0"



04 right elevation
1/4" = 1'-0"

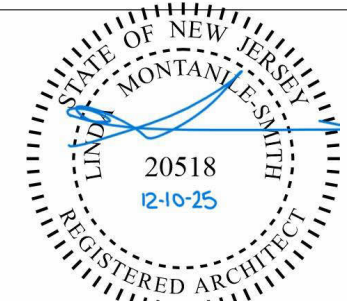
03 rear elevation
1/4" = 1'-0"

OWNER:
GLENN STEFANI
5703 LONG BEACH BLVD
BOROUGH OF HARVEY CEDARS, NJ 08008



ARCHITECT:
PHITOWN DESIGN
908 BENT LANE
GLENSIDE, PA 19038
215.870.8913
LINDA.PHITOWNDESIGN@GMAIL.COM

LINDA MONTANILE-SMITH
REGISTERED ARCHITECT
NJ. LIC. NO. 20518



THESE DRAWINGS ARE COPYRIGHT PROTECTED.
These drawings are instruments of service and shall remain the property of PHITOWN DESIGN whether the project for which they are made is executed or not. These drawings shall not be used by anyone on other projects, for additions to this Project, or for completion of this Project by others except by agreement in writing and with appropriate compensation to PHITOWN DESIGN. Submission or distribution to meet official regulatory requirements or for other purposes in connection with this Project is not to be construed as publication in derogation of PHITOWN DESIGN'S rights. These electronic files, reproductions or prints have been issued for the convenience of the Owner and Contractor. No changes, alterations, additions or deletions may be made to these documents except by the Architect. No reproducible copies are to be made from these drawings without the prior written authorization of the Architect.

STEFANI ADDITION
5703 LONG BEACH BLVD
HARVEY CEDARS, NJ
BUILDING ELEVATIONS

ISSUE / REVISION	ISSUE	DESCRIPTION	DATE
ISSUE DATE:	12.16.25		
DRAWN BY:	LMS		
PROJECT ID:	25.10		
DRAWING NO.:	A2.0		

A2.0